

CHHABARA RESIDENCE

63RD AND 9TH STREET, NEW YORK, NY 10003

INTERIOR RENOVATION

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63rd & 9th Street
NEW YORK, NY 10003



DESIGN SERVICES PLUS

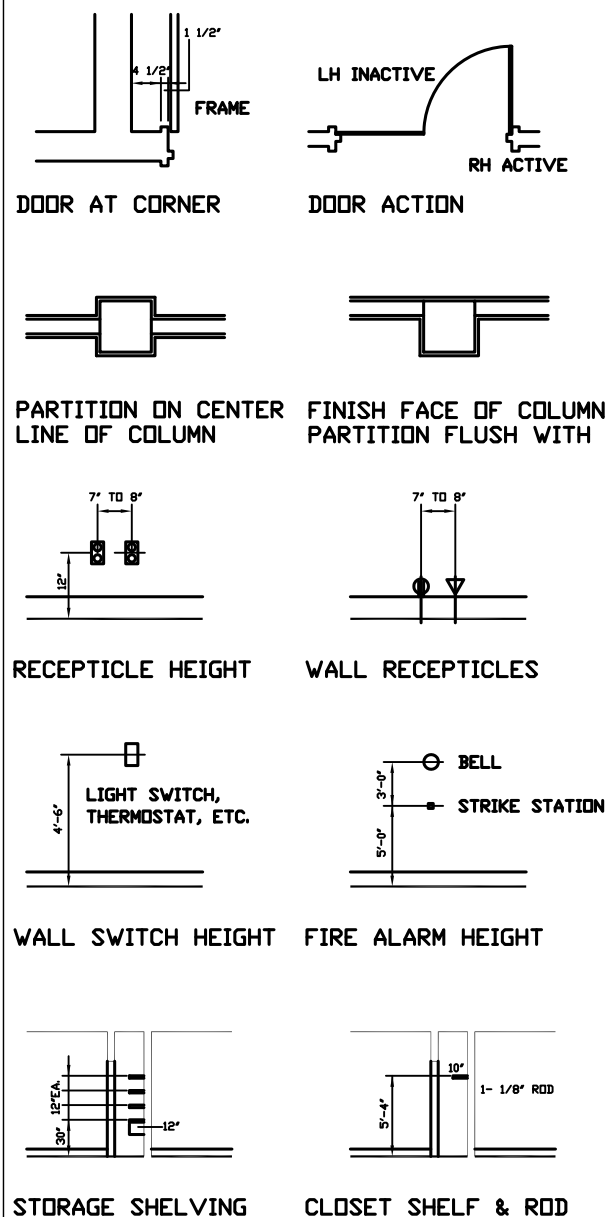
FACILITIES, PLANNING AND DEVELOPMENT

SUITE 700
101 CONVENTION CENTER DR.
LAS VEGAS, NV

LIST OF DRAWINGS

- CS COVER SHEET
- GN-1 GENERAL NOTES
- D-1 EXISTING AND DEMOLITION
- A-1 FLOOR PLAN
- A-2 FINISH FLOOR PLAN
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- A-5 ELEVATIONS
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STANDARDS



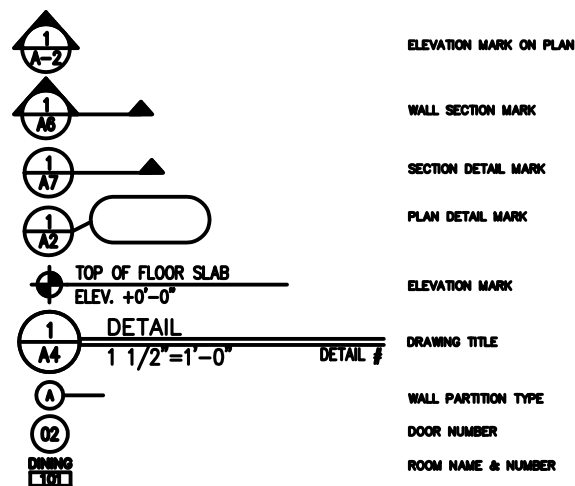
PROJECT MANAGER

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SYMBOLS



SCOPE OF WORK

SCOPE OF WORK IS INTERIOR FIT OUT OF EXISTING APARTMENT WITH NEW FLOOR AND WALL FINISHES, NEW CEILING W/ CEILING CLOUD, REMOVE AND INSTALL NEW LIGHTS, OUTLETS KITCHEN CABINETS, KITCHEN ISLAND AND RE ARRANGE BATHROOM WITH STAND UP SHOWER RELOCATION.

SHEET TITLE
COVER SHEET

CAD FILE NAME	-	
DRAWN	SSK	ISSUED 2/18/2015
CHECKED	SSK	SCALE -
APPR.	SSK	DWG NO.
PROJECT NO.	-	

CS

GENERAL NOTES

- A. ALL WORK SHALL COMPLY WITH APPLICABLE STATE AND FEDERAL CODES, THE LOCAL JURISDICTION'S CONSTRUCTION STANDARDS, OTHER APPLICABLE REGULATIONS. GC TO COMPLY WITH THE GENERAL CONDITIONS OF AIA 201 OR SIGNED CONSTRUCTION CONTRACT. IT IS THE INTENT OF THE DRAWINGS TO COMPLY WITH THESE REQUIREMENTS.
- B. GC IS RESPONSIBLE FOR ACQUIRING REQUIRED PERMITS, INSURANCE, LICENSES, CERTIFICATES, AND ARRANGING FOR ALL OTHER WORK REQUIRED TO MAKE THE END PRODUCT OCCUPIABLE, OPERATIVE, AND IN AGREEMENT WITH THE DESIGN INTENT DOCUMENTED IN THE DRAWINGS AND SPECIFICATIONS. GC IS RESPONSIBLE FOR THE COORDINATION OF SUBCONTRACTORS, INSPECTIONS AND TRADES AND THE MAINTENANCE OF A PROJECT SCHEDULE.
- C. GC IS RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING CONDITIONS. ANY DISCREPANCY BETWEEN THE DRAWINGS AND RELEVANT EXISTING CONDITIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY AND PRIOR TO COMMENCEMENT OF WORK.
- D. THESE DRAWINGS TOGETHER WITH THE SPECIFICATIONS AND CONSTRUCTION CONTRACT ARE THE CONTRACT DOCUMENTS. DETAILS TYPICALLY TAKE PRECEDENCE OVER LARGER SCALE DRAWINGS. DIMENSIONS TAKE PRECEDENCE OVER SCALED MEASUREMENTS, WHICH SHOULD BE AVOIDED. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY FOR CLARIFICATION PRIOR TO PERFORMANCE OF WORK. THE DRAWINGS AND SPECIFICATIONS ARE PROPERTY AND COPYRIGHT OF THE ARCHITECT.
- E. DUTY OF COOPERATION: RELEASE AND ACCEPTANCE OF CONTRACT DOCUMENTS IMPLIES CONSENT TO FUTURE COOPERATION BETWEEN THE OWNER, CONTRACTOR AND ARCHITECT. THE CONTRACT DOCUMENTS HAVE BEEN PREPARED WITH DUE CARE AND DILIGENCE, HOWEVER, THE ARCHITECT CANNOT GUARANTEE THEIR PERFECTION. FAILURE TO NOTIFY THE ARCHITECT OF DISCREPANCIES AND CHANGES MADE FROM THE PLANS WITHOUT THE WRITTEN CONSENT OF THE DESIGN TEAM RELIEVES THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING FROM SUCH CHANGES OR DISCREPANCIES. MINOR DETAILS OR MEANS AND METHODS NOT USUALLY SHOWN OR SPECIFIED BUT REQUIRED FOR PROPER COMPLETION OF THE WORK ARE INCORPORATED INTO THE CONTRACT DOCUMENTS AS IF THEY WERE SHOWN.
- F. INCLUDED ENGINEER'S DRAWINGS TAKE PRECEDENCE OVER ARCHITECTURAL DRAWINGS IN REGARD TO CIVIL/STRUCTURAL/MECHANICAL/ELECTRICAL ENGINEERING CONTENT, HOWEVER CONFLICTS ARE TO BE RESOLVED BY THE ARCHITECT AFTER NOTIFICATION BY THE CONTRACTOR AND IS CONSIDERATION OF THE RELEVANT ARCHITECTURAL DETAILS.
- G. DESIGN-BUILD PORTIONS OF THE PROJECT ARE TO BE COORDINATED WITH THE ARCHITECT AND ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. SUCH WORK MAY INCLUDE BUT IS NOT LIMITED TO FIRE SPRINKLER SYSTEMS, FIRE ALARM/SMOKE DETECTION SYSTEMS, LANDSCAPE IRRIGATION DESIGN, HARDWARE/KEYING SCHEDULES, AND LOW VOLTAGE WIRING.
- H. INSTALL WORK PLUMB, TRUE, AND LEVEL, AND WITH GOOD WORKMANSHIP. THE ARCHITECT RESERVES THE RIGHT TO PREJECT INFERIOR WORK. INFERIOR WORK SHALL BE REPLACED AS DIRECTED WITHOUT ADDITIONAL COST TO THE OWNER.
- I. INSTALL ALL MATERIALS, PRODUCTS, AND EQUIPMENT TO MANUFACTURER'S STANDARDS AND INSTRUCTIONS. PROVIDE ADEQUATE BLOCKING/SUPPORT FOR ALL EQUIPMENT, GRAB BARS, CABINETS, ETC.
- J. WHERE SIZE, CAPACITY, MODEL, STYLE, OR OTHER PERTINENT INFORMATION IS NOT SHOWN, FURNISH WORK IN THE FASHION THAT WILL MEET APPLICABLE CODE AND RESULT IN AN OPERABLE BUILDING OR SPACE MEETING THE DESIGN INTENT AND OBTAIN ARCHITECT'S WRITTEN APPROVAL PRIOR TO PROCEEDING.
- K. PROVIDE SHOP DRAWINGS/SUBMITTALS IN A TIMELY MANNER FOR REVIEW/APPROVAL BY THE ARCHITECT AND KEEP OWNER AND ARCHITECT AWARE OF LEAD TIMES AND DECISIONS THAT MAY AFFECT THE PROJECT SCHEDULE. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND CONDITIONS RELIED UPON FOR THE INSTALLATION OF SHOP FABRICATED OR OTHER MATERIALS.
- L. THE CONTRACTOR AND OWNER SHALL EACH MAINTAIN A COMPLETE AND APPROVED SET OF RECORD CONTRACT DOCUMENTS THAT DOCUMENT ALL FIELD CONDITIONS, ADDENDA, RFIS, ASIS'S APPROVED SUBSTITUTIONS, AND CHANGE ORDERS TO TRACK THE EXECUTION OF THE PROJECT ON THE JOB SITE. GC SHALL PROVIDE COPIES OF AS BUILT DRAWINGS IF ARRANGED WITH OWNER IN WRITING DURING CONTRACT NEGOTIATION.
- M. THE CONTRACTOR SHALL MAINTAIN A CONSTRUCTION WASTE RECYCLE PROGRAM FOR WOOD, METALS, AND CARDBOARD IN ADDITION TO REMOVING ALL RUBBISH AND DEBRIS AND KEEPING T A CLEAN AND SAFE JOBE SITE.
- N. GC IS RESPONSIBLE FOR A THOROUGH AND PROFESSIONAL CLEANING PRIOR TO OWNER OCCUPANCY AND COORDINATION OF FINAL PUNCH LIST PROCESS.
- O. CONTRACTOR SHALL PROVIDE OWNER/USERS WITH FULL WARRANTEE INFORMATION ON ALL PRODUCTS AND EQUIPMENT AND THE BUILDING ITSELF AND AN OPERATIONS MANUAL INCLUDING MANUFACTURERR'S INSTRUCTIONS AND OTHER RELEVANT INFORMATION.

- 1. BUILDING OWNER'S REQUIREMENT -
 - a. FURNISH THE CORPORATION WITH A COPY OF EACH AND EVERY WRITTEN AGREEMENT WITH YOUR CONTRACTOR(S), SUBCONTRACTORS AND SUPPLIERS, AS SIGNED BY THE PARTIES, INCLUDING ANY AMENDMENTS.
 - b. FOR ALL PROJECTS THAT REQUIRE FILING WITH THE DEPARTMENT OF BUILDINGS (THE 'DOB'), SIGN THE PV- 1 FORM SECTION 26 AS THE OWNER AND AN OFFICER OF THE CORPORATION WILL SIGN 26A. IN ADDITION, YOU SHALL SIGN THE TR-1 FORM AND PV-3 FORM AS OWNER. YOU REPRESENT THAT THE PLANS FILED WITH THE DOB WILL BE THE SAME AS THOSE APPROVED BY THE CORPORATION.
 - c. DELIVER TO THE CORPORATION COPIES OF ALL INSURANCE POLICIES REQUIRED BY PARAGRAPH 4 OF THIS AGREEMENT, OR AT THE CORPORATION'S OPTION, CERTIFICATES EVIDENCING SUCH INSURANCE.
 - d. FURNISH THE CORPORATION WITH COPIES OF LICENSES FOR ALL CONTRACTORS, SUBCONTRACTORS, AND PROFESSIONALS. IN ADDITION, IN THE EVENT ANY WORK IS TO BE UNDERTAKEN THAT MAY CAUSE DISRUPTION TO THE WALLS (E.G. DEMOLITION, SANDING) YOU MUST FURNISH APPROPRIATE EPA CERTIFIED RENOVATOR PERMITS.
 - e. IF REQUIRED, SUBMIT COPIES OF CONSENTS OF ANY SECURED LENDER OR OTHER THIRD PARTY REQUIRED IN CONNECTION WITH THE ALTERATIONS.
 - f. GIVE AT LEAST FIVE (5) BUSINESS DAYS WRITTEN NOTICE OF ACTUAL COMMENCEMENT OF WORK TO THE CORPORATION'S DESIGNATED ENGINEER, THE MANAGING AGENT AND THE SUPERINTENDENT OF THE BUILDING. YOU SHALL ALSO DELIVER WRITTEN NOTICE, IN THE FORM ANNEXED HERETO AS EXHIBIT A, TO THE OCCUPANTS OF ALL APARTMENTS ADJACENT TO, ABOVE AND BELOW THE APARTMENT.
- 1. SHOULD ACCESS TO ANY OTHER APARTMENT BE REQUIRED TO COMPLETE ANY PART OF THE ALTERATION, INCLUDING PLUMBING, ELECTRICAL OR GENERAL CONTRACTING WORK, YOU MUST ADVISE THE AFFECTED SHAREHOLDER IN WRITING, NO LESS THAN FIVE (5) BUSINESS DAYS PRIOR TO THE INTENDED ACCESS DATE.
 - 1) INSURANCE: ALL CONTRACTORS, SUBCONTRACTORS AND OTHER PERSONS WHO PERFORM THE ALTERATIONS SHALL OBTAIN INSURANCE POLICIES AS MORE FULLY DESCRIBED IN EXHIBIT B (ATTACHED) THAT PROVIDE FOR NOT LESS THAN \$1,000,000 COMPREHENSIVE GENERAL LIABILITY, BODILY INJURY AND PROPERTY DAMAGE COMBINED SINGLE LIMIT INSURANCE COVERAGE AND WORKERS' COMPENSATION AND EMPLOYEES' LIABILITY COVERING ITS EMPLOYEES AND SUBCONTRACTORS' EMPLOYEES, INCLUDING COVERAGE FOR ALL OPERATIONS AND INDEPENDENT CONTRACTORS. SUCH INSURANCE SHALL BE WRITTEN BY INSURANCE COMPANIES REASONABLY SATISFACTORY TO THE CORPORATION, SHALL INSURE YOU AND THE CORPORATION, THE CORPORATION'S OFFICERS, DIRECTORS, SHAREHOLDERS, DESIGNATED ENGINEER, AND THE MANAGING AGENT AS ADDITIONAL PARTIES INSURED, SHALL PROVIDE THAT IT MAY NOT BE TERMINATED OR MODIFIED UNTIL AT LEAST TEN (10) DAYS AFTER WRITTEN NOTICE TO THE CORPORATION, AND SHALL PERMIT CLAIMS TO BE MADE ON AN "OCCURRENCE" BASIS. COMPLETED OPERATIONS COVERAGE SHALL BE MAINTAINED FOR ONE YEAR AFTER COMPLETION OF THE ALTERATIONS. IF REQUESTED BY THE CORPORATION, YOU SHALL PROVIDE THE CORPORATION WITH BONDS FROM A SURETY COMPANY ACCEPTABLE TO THE CORPORATION, WHICH BONDS SHALL BE IN FORM AND CONTENT ACCEPTABLE TO THE CORPORATION. IN ADDITION, YOU SHALL HAVE IN PLACE A HOMEOWNERS TYPE HO6 INSURANCE POLICY THAT PROVIDES FOR NOT LESS THAN \$250,000 LIABILITY COVERAGE.
- 2) PERFORMANCE OF WORK:
 - a) YOU UNDERSTAND THAT ALTERATIONS ARE SCHEDULED AT THE DISCRETION OF THE CORPORATION, WHICH RESERVES THE RIGHT TO LIMIT THE NUMBER OF ALTERATIONS THAT MAY BE ALLOWED AT THE SAME TIME.
 - b) THE ALTERATIONS SHALL BE PERFORMED, ONLY BETWEEN THE HOURS OF 9:00 A.M. AND 4:00 P.M. MONDAY THROUGH FRIDAY; PROVIDED HOWEVER, THAT WORK WHICH WILL PRODUCE NOISE OR OTHERWISE BE DISTURBING TO OTHER BUILDING OCCUPANTS SHALL NOT BE PERFORMED BEFORE 10:00 AM, MONDAY THROUGH FRIDAY. NO ALTERATIONS SHALL BE PERFORMED ON SATURDAYS, SUNDAYS AND HOLIDAYS. THE CORPORATION SHALL BE THE SOLE ARBITER SHOULD THERE BE ANY DOUBT AS TO NOISE LEVELS WHICH MAY BE DISTURBING.
 - c) THE ALTERATIONS SHALL BE PERFORMED IN COMPLIANCE WITH ALL REQUIREMENTS OF LAW IN A GOOD AND WORKMANLIKE MANNER BY LICENSED CONTRACTORS, SUBCONTRACTORS AND PROFESSIONALS AND YOU SHALL FURNISH THE CORPORATION A COPY OF EACH SUCH LICENSE. ALL SUCH PERSONNEL EMPLOYED BY YOU WHILE ON SITE SHALL HAVE NAME TAGS INDICATING THE APARTMENT NUMBER
 - d) YOU SHALL SEE TO IT THAT ALL OF YOUR CONTRACTOR(S) AND SUBCONTRACTOR(S) SHALL EMPLOY ONLY SUCH LABORERS AS SHALL NOT CONFLICT WITH ANY OF THE PERSONNEL EMPLOYED IN THE BUILDING OR OTHERWISE CAUSE DISHARMONY WITH ANY BUILDING SERVICE UNION. FURTHER, YOU SHALL CAUSE THE CONTRACTOR(S) AND SUBCONTRACTOR(S) TO ACKNOWLEDGE THIS AGREEMENT AND ABIDE BY ALL OF THE RULES AND REGULATIONS OF THE CORPORATION.
 - e) YOU WILL NOT ALLOW THE HALLS, SIDEWALKS, COURTYARDS OR OTHER PUBLIC AREAS TO BE USED FOR THE STORAGE OF BUILDING MATERIALS OR DEBRIS AND AGREE THAT THE FLOOR OF THE HALLS TO BE USED IN CONNECTION WITH THE ALTERATIONS WILL BE COVERED WITH MASONITE BOARD DURING THE ALTERATIONS. IF THE ALTERATIONS MAR OR DAMAGE THE HALLS, STAIRS, OR ELEVATORS, THE CORPORATION MAY REPAIR THEM AT YOUR EXPENSE UPON THE COMPLETION OF THE ALTERATIONS. YOU WILL TAKE OR CAUSE YOUR CONTRACTOR(S) TO TAKE ALL PRECAUTIONS NECESSARY TO PREVENT DAMAGE TO THE CARPETING AND PAPER IN THE BUILDING'S HALLWAYS, ELEVATORS (INCLUDING THE DOORS AND APERTANCES) AND OTHER COMMON AREAS DURING THE PROGRESS OF THE ALTERATIONS. IF YOU SHALL FAIL TO PROMPTLY PERFORM ANY REPAIR, YOU SHALL PROMPTLY PAY ALL REASONABLE BILLS FOR SUCH REPAIRS.
 - f) YOU WILL TAKE ALL PRECAUTIONS TO PREVENT DIRT AND DUST FROM PERMEATING OTHER PARTS OF THE BUILDING DURING THE PROGRESS OF THE ALTERATIONS, INCLUDING WHENEVER THE CORPORATION DEEMS APPROPRIATE, USE OF A MICROTRAP TO PREVENT DUST FROM PENETRATING INTO OTHER APARTMENTS OR THE HALLWAYS. MATERIALS AND RUBBISH WILL BE PLACED IN BARRELS OR BAGS BEFORE BEING TAKEN OUT OF THE APARTMENT. ALL SUCH BARRELS OR BAGS, RUBBISH, RUBBLE, DISCARDED EQUIPMENT, EMPTY PACKING CARTONS AND OTHER MATERIALS WILL BE TAKEN OUT OF THE BUILDING AND REMOVED FROM THE APARTMENT AT YOUR EXPENSE. YOU RECOGNIZE THAT ONLY THE SERVICE ELEVATOR MAY BE USED FOR SUCH REMOVAL AND ONLY AT SUCH TIMES AS THE SUPERINTENDENT OF THE BUILDING MAY DIRECT. YOU SHALL NOT PERMIT ANY DUMPSTER OR GARBAGE CONTAINER TO BE LEFT OVERNIGHT IN FRONT OF THE BUILDING OR FOR MORE THAN FIVE (5) CONSECUTIVE DAYS AT THE SIDES OF THE BUILDING, NOTWITHSTANDING THE FOREGOING, THE PLACEMENT OF ANY DUMPSTERS MUST COMPLY WITH ALL GOVERNMENTAL REGULATIONS, INCLUDING WITHOUT LIMITATION, OBTAINING ANY NECESSARY PERMITS.
- 3) REPLACEMENT OF BRANCH PLUMBING: DURING AN APARTMENT ALTERATION INVOLVING THE REPLACEMENT OF KITCHEN CABINETS OR BATH TILE AND FIXTURES THAT INVOLVE OPENING THE WALL, THE CORPORATION REQUIRES -AT YOUR OWN EXPENSE -REPLACEMENT OF ALL BRANCH WATER SUPPLY AND WASTE PLUMBING TO THE RISER OR STACK. SHUTOFF VALVES WILL BE INSTALLED AT BOTH THE RISER AND FIXTURE AND MUST BE ACCESSIBLE. YOU WILL BE RESPONSIBLE FOR LOCATING AND TESTING ALL PLUMBING SHUT-OFF VALVES. YOU MAY NOT ENCLOSE OR OBSTRUCT ACCESS TO THE EXISTING HEAT OR WATER PIPES, VALVES OR OTHER EQUIPMENT NOT PRESENTLY ENCLOSED WITHOUT THE BOARD'S PRIOR APPROVAL. WHETHER OR NOT SUCH APPROVAL IS GRANTED, THE CORPORATION WILL HAVE THE RIGHT TO REMOVE ANY IMPEDIMENTS TO ACCESS ALL SUCH HEAT OR WATER VALVES AND EQUIPMENT FOR THE PURPOSE OF REPAIR OR ANY OTHER PURPOSE, AND YOU WILL PAY ANY EXPENSES INCURRED IN REMOVING THESE IMPEDIMENTS, AND SHALL ASSUME ALL COSTS OF RESTORING THEM.
- 4) BUILDING SYSTEMS: YOU RECOGNIZE THAT THERE WILL BE NO CHANGE IN THE OPERATION OF THE BUILDING'S HEATING SYSTEM, VENTILATION SYSTEM OR AIR-CONDITIONING SYSTEM, IF ANY, TO FACILITATE THE FUNCTIONING OF ANY HEATING OR AIR-CONDITIONING UNITS YOU MAY BE INSTALLING. NOR SHALL YOU INTERFERE OR PERMIT INTERFERENCE WITH THE BUILDING'S INTERCOM SYSTEM, GAS, ELECTRIC, PLUMBING OR ANY OTHER SYSTEM OR SERVICE.
- 5) ACCESSIBILITY: YOU AGREE THAT ALL WATER, STEAM, AND GAS VALVES WILL BE REASONABLY ACCESSIBLE. IF ANY PORTION OF THE ALTERATIONS SHOULD ENCLOSE SUCH VALVES, CONTRARY TO THE PROVISIONS OF THIS AGREEMENT, IF REQUESTED BY THE CORPORATION'S DESIGNATED ENGINEER, SUCH PORTION SHALL BE UNCOVERED AT YOUR EXPENSE FOR OBSERVATION. SUCH ENCLOSURE SHALL BE OPENED AND REPLACED AT YOUR EXPENSE.
- 6) SAFETY PRECAUTIONS. YOU AGREE THAT FUNCTIONING FIRE EXTINGUISHERS AND SMOKE ALARMS WILL BE MAINTAINED IN THE APARTMENT DURING THE ALTERATIONS, AND THAT THE ALTERATIONS SHALL NOT BLOCK ACCESS TO ANY FIRE EXITS IN THE BUILDING.
- 7) LIMITATIONS ON PROCEDURES: NOTWITHSTANDING ANYTHING TO THE CONTRARY IN THE PLANS OR ANY OTHER DOCUMENT, YOU HEREBY ACKNOWLEDGE AND AGREE AS FOLLOWS:
 - a) NO AIR-POWERED TOOLS, PNEUMATIC JACKHAMMERS OR ELECTRICAL HAMMER EQUIPMENT OR OTHER POWER IMPACT TOOLS MAY BE USED.
 - b) NO MATERIALS MAY BE PLACED OR HOISTED ON TOP OF ANY ELEVATOR CAB.
 - c) NO ALTERATIONS MAY ENTAIL CUTTING INTO, CHANNELING, OR PENETRATING THE FLOOR, CEILING SLAB, ANY STRUCTURAL OR EXTERIOR BUILDING WALLS OR ROOF SURFACES OR SLABS FOR ANY PURPOSE.
 - d) UNDER NO CIRCUMSTANCES SHALL ANY ALTERATIONS ENTAIL SHUTTING OFF GAS SERVICE OR MOVING GAS LINES. NO PLUMBING, HEATING OR ELECTRICAL RISERS MAY BE RELOCATED.
 - e) IN THE EVENT ANY ELECTRICAL WORK OR UPGRADE IS PERFORMED, YOU MUST PROVIDE A LETTER FROM A LICENSED ELECTRICIAN CERTIFYING THAT THE APARTMENT WILL NOT DRAW MORE THAN 100 AMPS OF POWER.
 - f) NO WET OVER DRY CONSTRUCTION SHALL BE ALLOWED.
 - g) NO APPLIANCES SHALL BE INSTALLED OUTSIDE OF THEIR ORIGINAL FOOTPRINT.
 - h) THE LIMITATIONS SET OUT ABOVE ARE ILLUSTRATIVE ONLY AND THE CORPORATION MAY IN ITS SOLE DISCRETION IMPOSE OTHER OR ADDITIONAL RESTRICTIONS UPON THE NATURE AND MANNER OF ALTERATIONS THAT IT REASONABLY DEEMS IN THE INTERESTS OF THE BUILDING.

DESIGN SUBMITTAL

Approved by _____

signature: _____

print first name: _____

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Title: _____

63rd & 9th Street
NEW YORK, NY 10003



DESIGN SERVICES

PLUS

FACILITIES, PLANNING
AND DEVELOPMENT

SUITE 700
101 CONVENTION CENTER DR.
LAS VEGAS, NV

SHEET TITLE
**GENERAL
NOTES**

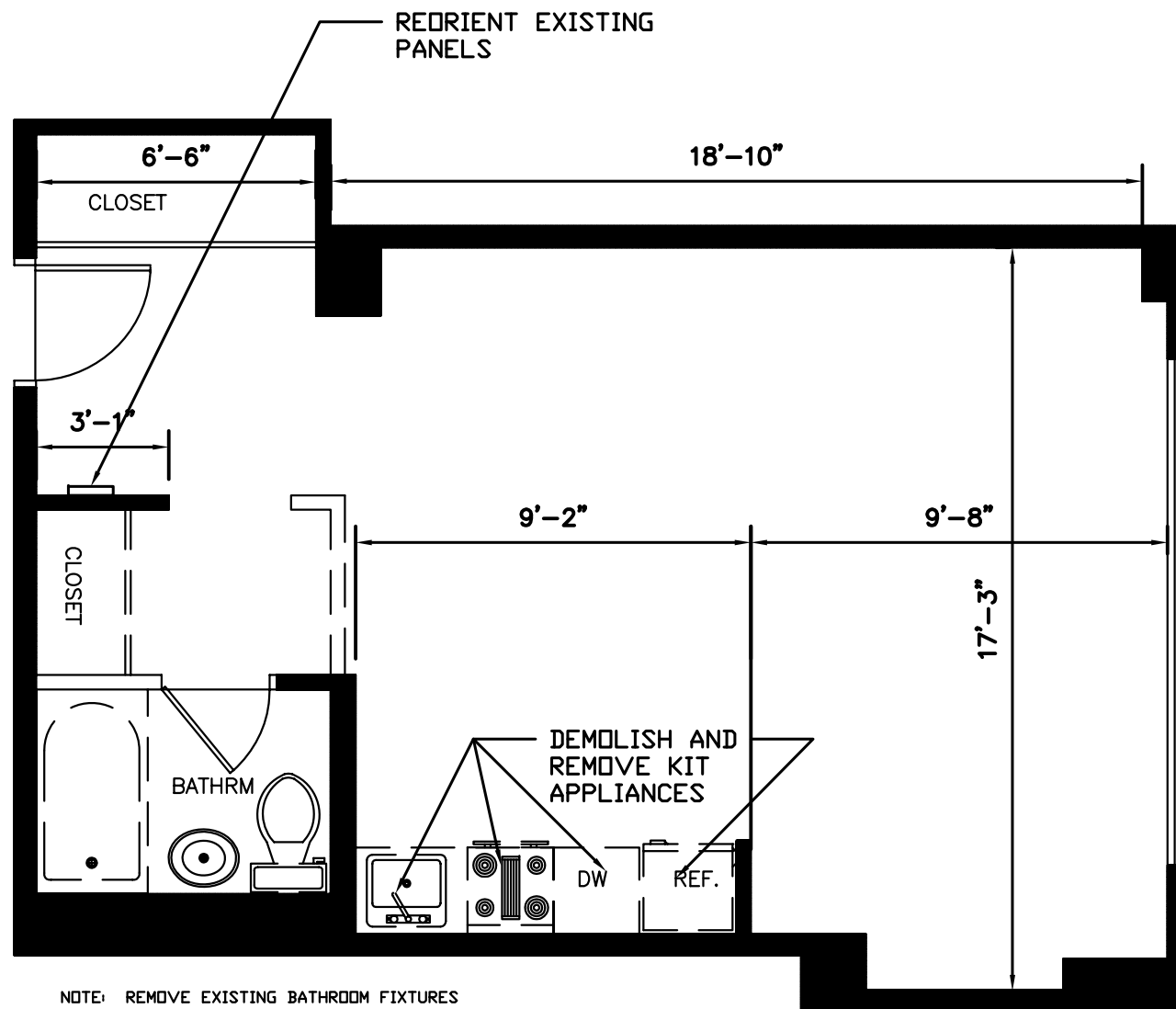
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DRAWN **SSK** ISSUED **2/18/2015**

CHECKED **SSK** SCALE -

APPR. **SSK** DWG NO.

PROJECT NO. - **GN-1**



NOTE: REMOVE EXISTING BATHROOM FIXTURES

LEGEND

- EXISTING WALLS TO BE REMOVED
- EXISTING WALLS TO REMAIN

1 EXISTING AND DEMOLITION PLAN

A-1 SCALE: 1/4" = 1'-0"

DESIGN SUBMITTAL

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Title: _____

**63rd & 9th Street
NEW YORK, NY 10003**



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FACILITIES, PLANNING
AND DEVELOPMENT

SUITE 700
101 CONVENTION CENTER DR.
LAS VEGAS, NV

SHEET TITLE **EXISTING AND
DEMOLITION PLAN**

CAD FILE NAME		-
DRAWN	SSK	ISSUED 2/18/2015
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APPR.	SSK	DWG NO.
PROJECT NO.	-	D-1

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NEW YORK, NY 10003



DESIGN SERVICES PLUS

FACILITIES, PLANNING AND DEVELOPMENT

SUITE 700
101 CONVENTION CENTER DR.
LAS VEGAS, NV

SHEET TITLE
PROPOSED FLOOR PLAN

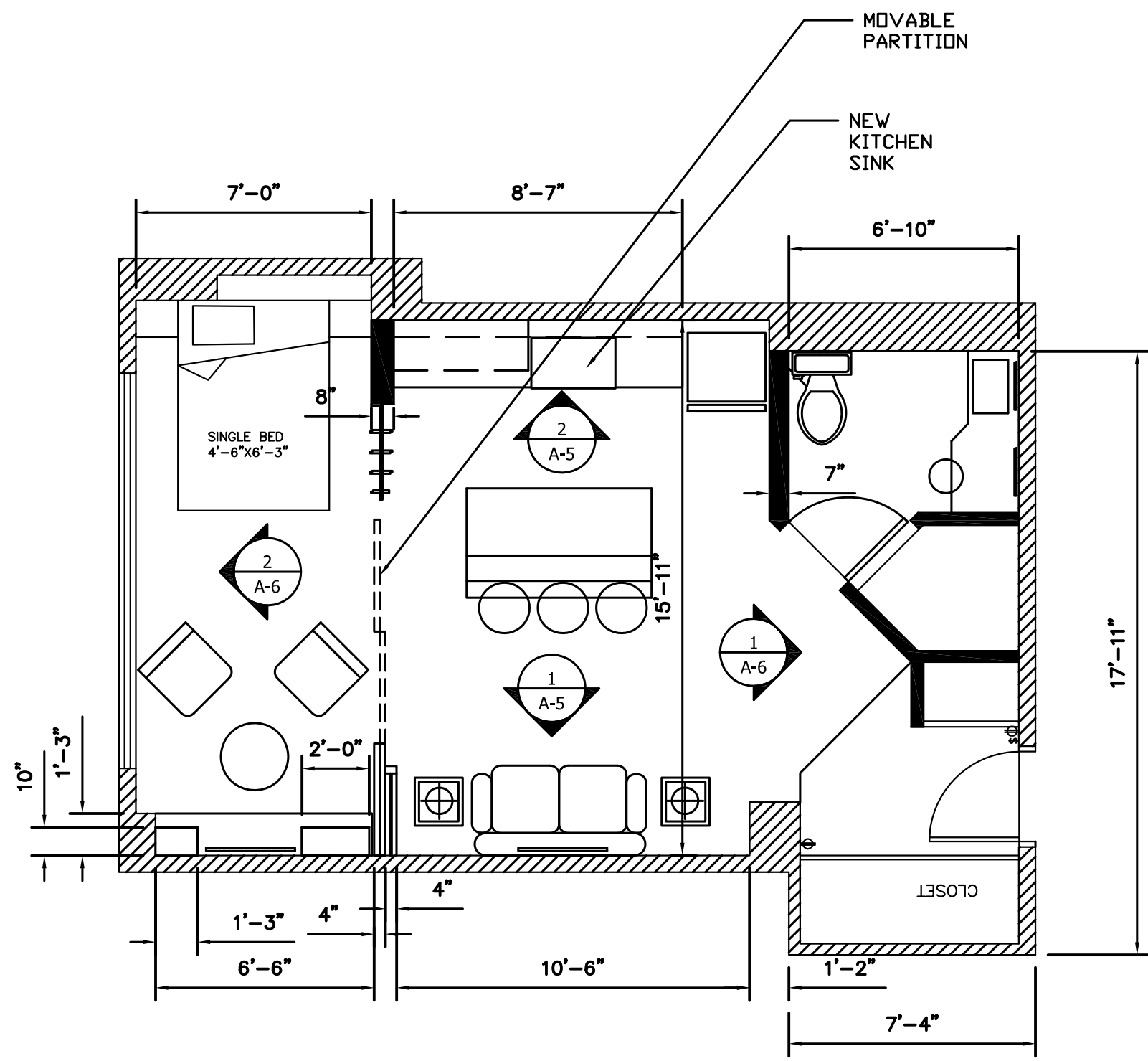
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DRAWN **SSK** ISSUED **2/18/2015**

CHECKED **SSK** SCALE -

APPR. **SSK** DWG NO.

PROJECT NO. - **A-1**



1 FLOOR PLAN
A-1 SCALE: 1/4" = 1'-0"

DESIGN SUBMITTAL

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signature: _____

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print last name: _____

Title: _____

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SUITE 700
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SHEET TITLE
**PROPOSED FINISH
FLOOR PLAN**

CAD FILE NAME -

DRAWN **SSK** ISSUED **2/18/2015**

CHECKED **SSK** SCALE -

APPR. **SSK** DWG NO.

PROJECT NO.

- **A-2**

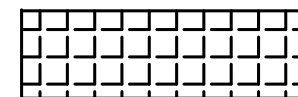
FINISH LEGEND



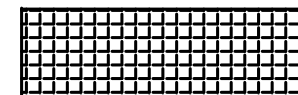
Vesdura Vinyl Planks - 9.5mm
High Performance Matterhorn
Collection - Home Song



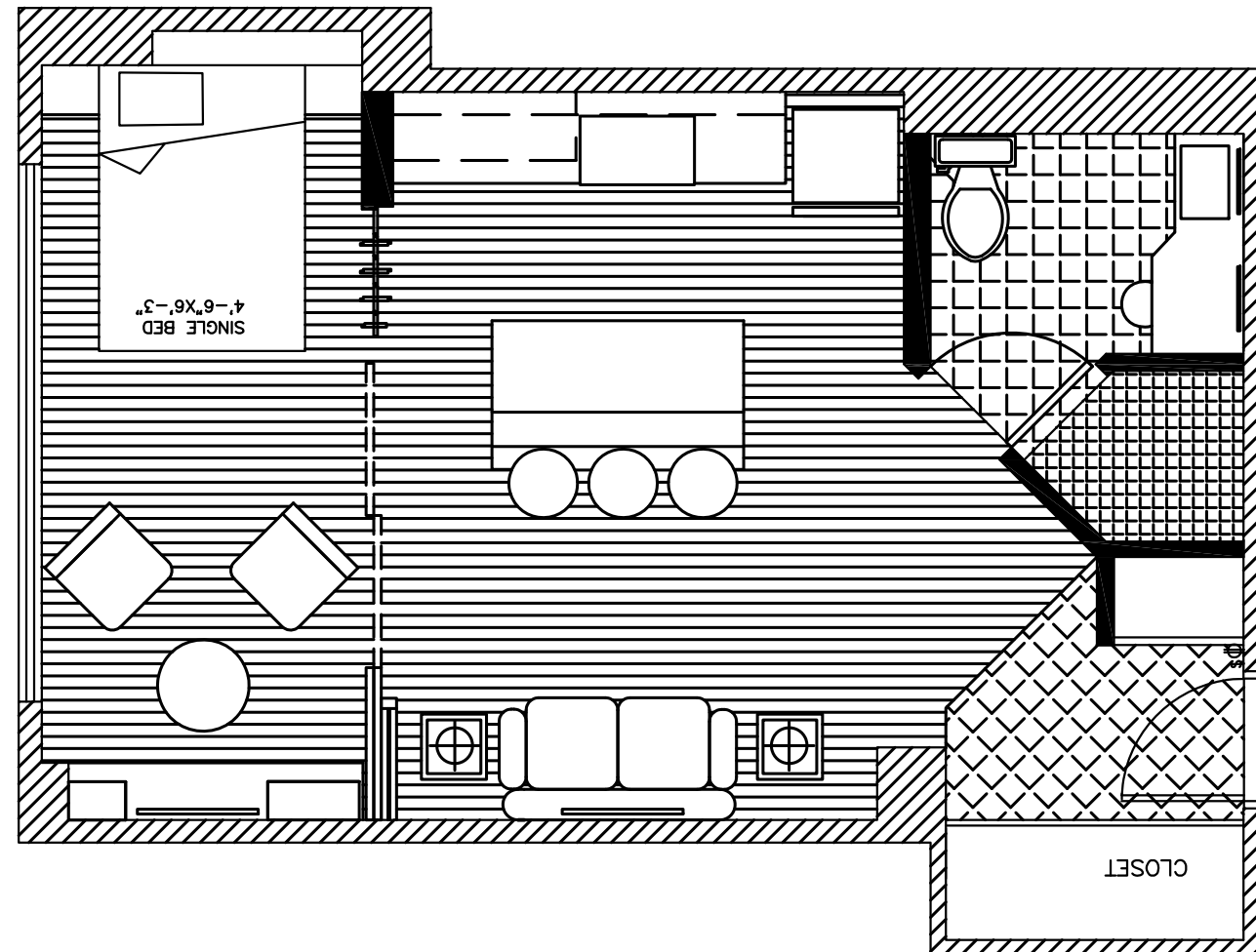
Vesdura Vinyl Planks - 9.5mm
High Performance Matterhorn Collec
Moon Rise



Kesir Marble Tile - Polished
Turkish Carrara White / 12"x24"x3/4"
Polished



Optico Mosaic Tile -
Tumbled Stone Series
River Black / Random



1 FINISH PLAN
A-2 SCALE: 1/4" = 1'-0"

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SUITE 700
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LAS VEGAS, NV

SHEET TITLE
**REFLECTED
CEILING
PLAN**

CAD FILE NAME -

DRAWN **SSK** ISSUED **2/18/2015**

CHECKED **SSK** SCALE -

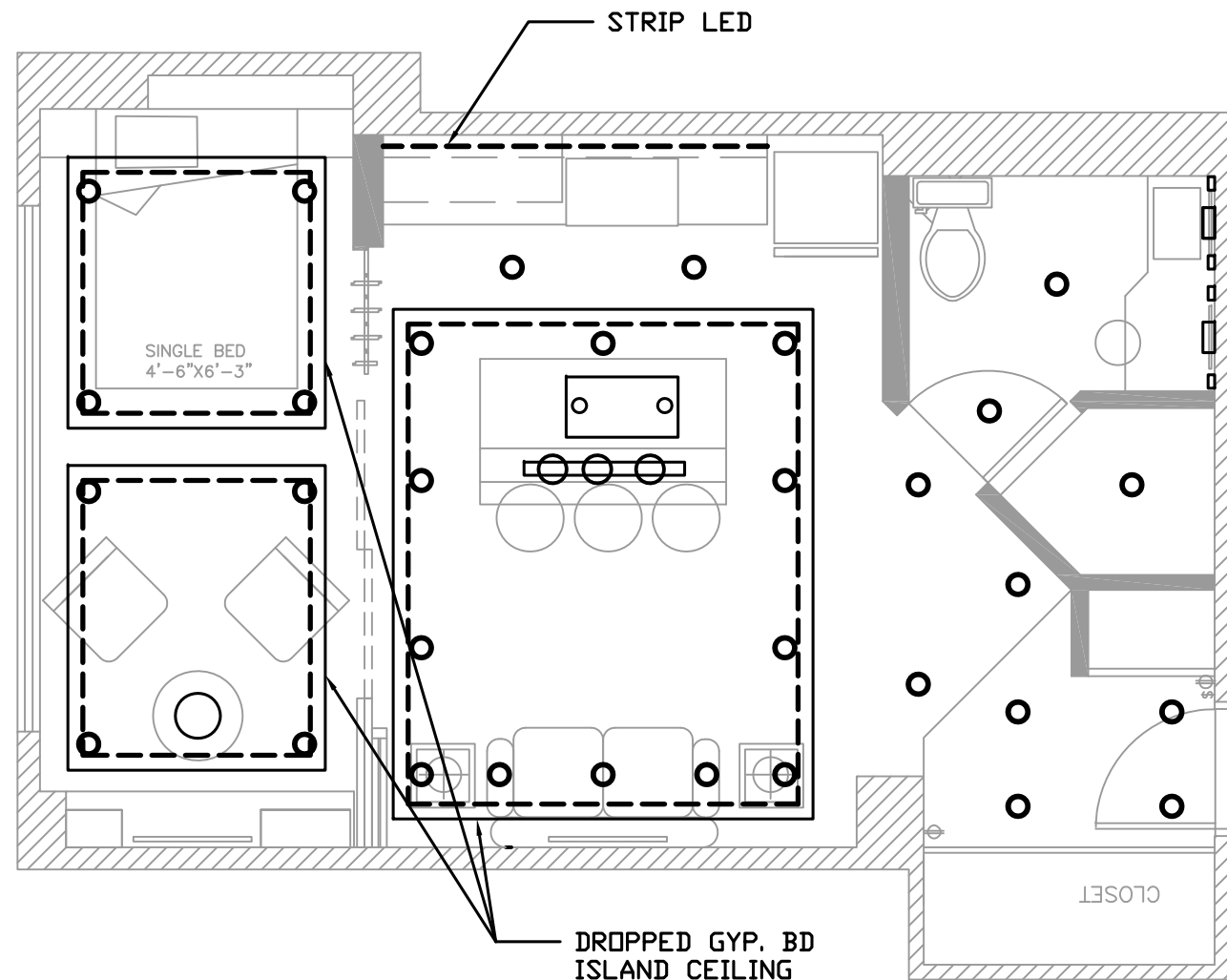
APPR. **SSK** DWG NO.

PROJECT NO.

- **A-3**

FIXTURE LEGEND

- STRIP LED
- ○ ○ STRIP PENDENT
- OVERSIZED PENDENT
- ⊙ RECESSED LED FIXTURE
- P PENDENT LIGHT



1 REFLECTED CEILING PLAN
A-3 SCALE: 1/4" = 1'-0"

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SUITE 700
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LAS VEGAS, NV

SHEET TITLE
ELECTRICAL PLAN

CAD FILE NAME -

DRAWN **SSK** ISSUED **2/18/2015**

CHECKED **SSK** SCALE -

APPR. **SSK** DWG NO.

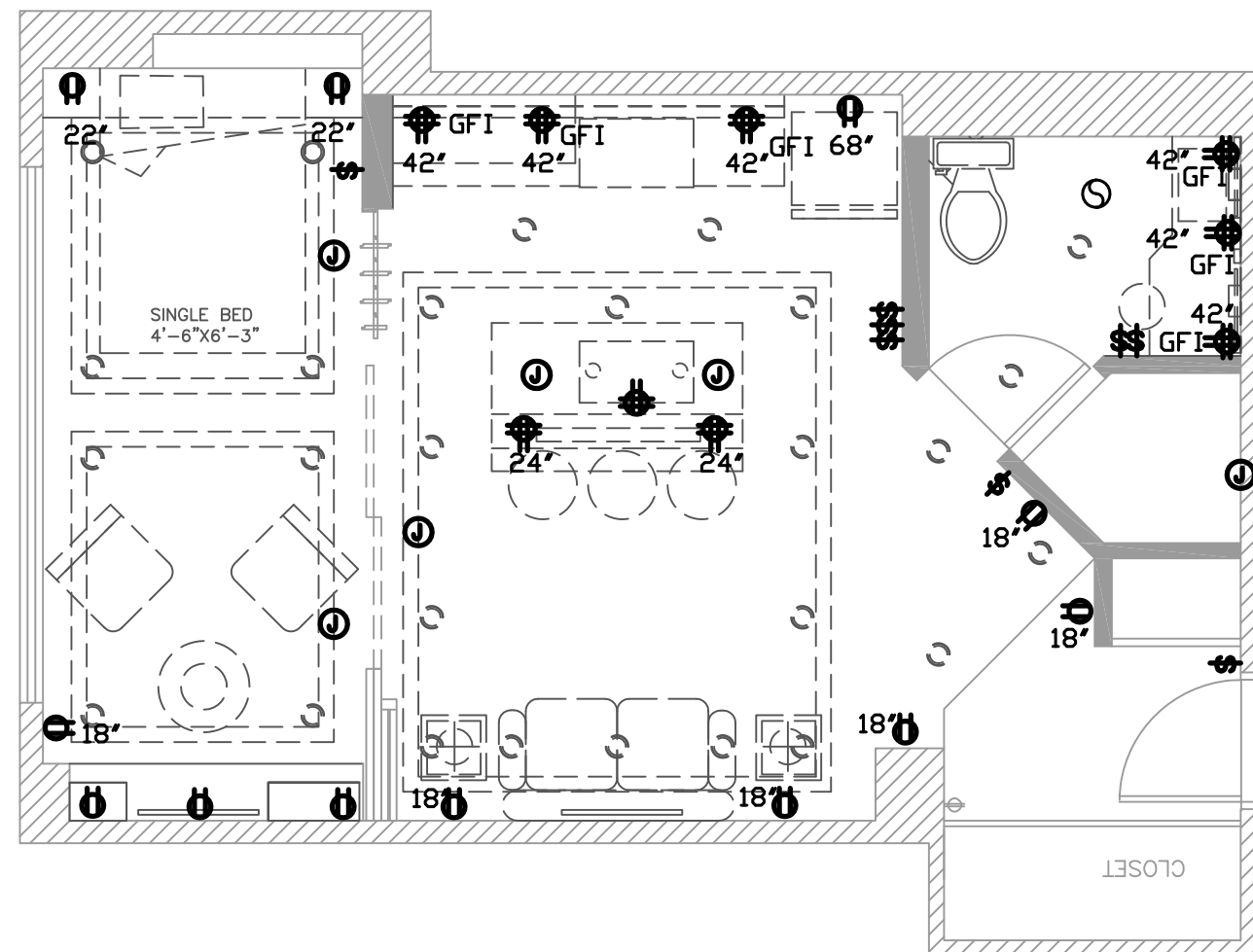
PROJECT NO. - **A-4**

ELECTRICAL LEGEND

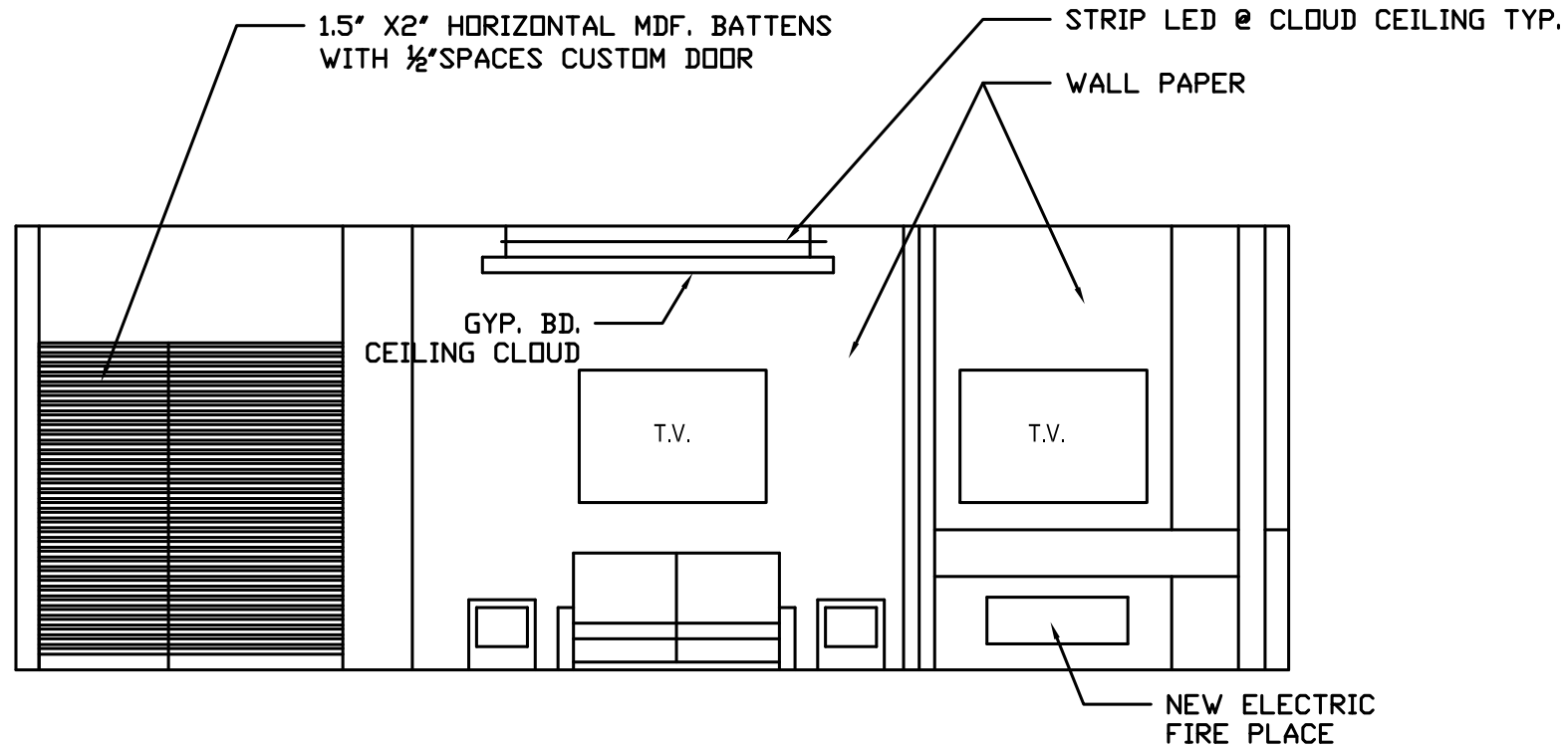
- | | | | |
|-----|-----------------------------|---|----------------------------------|
| A | -AMPERES | Ⓢ | -ELECTRICAL STUB |
| AFF | -ABOVE FINISHED FLOOR | ⚡ | -TELEPHONE JACK |
| CCT | -CIRCUIT | Ⓢ | -DUPLIX CONVENIENCE OUTLET |
| DCO | -DUPLIX CONVENIENCE OUTLET | Ⓢ | -(2) DUPLIX CONVENIENCE OUTLETS |
| GFI | -GROUND DEFUALT INTEREPTER | Ⓢ | -GFI = GROUND DEFUALT INTEREPTER |
| JB | -JUNCTION BOX | Ⓢ | -CONTROL POINT |
| KES | -KITCHEN EQUIPMENT SUPPLIER | Ⓢ | -JUNCTION BOX |
| KW | -KILOWATT | Ⓢ | -EXHAUST DUCT |
| | | Ⓢ | -SPECIAL RECEPTACLE |
| | | ○ | -CONDUIT |
| | | Ⓢ | -SWITCH |

PLAN NOTES

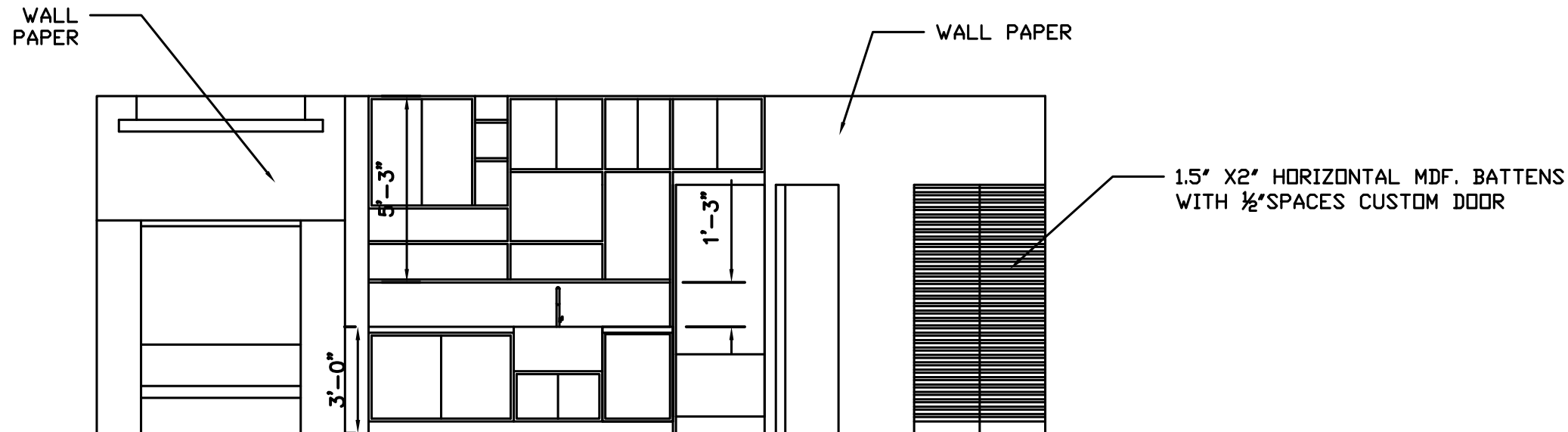
- 1) THE GENERAL CONTRACTOR SHALL STUDY THE MECHANICAL ROUGH-IN PLAN PREPARED BY McDONALD'S BEFORE INSTALLING ANY BASES,SLAB POURING, ERECTING UTILITY CHASES OR PROVIDING FOR ANY INSTALLATION CONNECTED WITH THE KITCHEN EQUIPMENT
- 2) THE MECHANICAL CONTRACTORS ARE TO EXAMINE FIXTURE LEGENDS AND RELATED MISCELLANEOUS DETAILS BEFORE PROCEEDING WITH ANY ROUGH-IN WORK
- 3) ALL MECHANICAL PLUMBING AND ELECTRICAL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL,STATE AND HEALTH CODES AND RESTAURANT COMMISSION
- 4) ALL EQUIPMENT SHOWN OR INDICATED ON PLAN SHALL CONFORM WITH LATEST N.S.F.STANDARDS,N.F.P.A.REGULATIONS AND LOCAL BUILDING CODES
- 5) ALL DIMENSIONS SHOWN ARE FROM FINISHED WALLS,FLOORS,OR BASES, MECHANICAL CONTRACTORS SHALL MAKE ALL NECESSARY DIMENSIONAL ALLOWANCES
- 6) EQUIPMENT REQUIRING ELECTRICAL POWER TO OPERATE,(FINAL CONNECTION, WIRING,HOOK-UP,ETC.)SHALL BE DONE BY THE ELECTRICAL CONTRACTOR
- 7) THE ENTIRE REFRIGERATION SYSTEM SHALL BE WIRED AND CONNECTED BY THE ELECTRICAL CONTRACTOR AS DIRECTED BY THE KITCHEN EQUIPMENT SUPPLIER
- 8) EQUIPMENT VENTILATOR WIRING IS TO AN INTERLOCK SYSTEM PROVIDED AS PER McDONALD'S SPECIFICATIONS



1 ELECTRICAL PLAN
A-4 SCALE: 1/4" = 1'-0"



1 ELEVATION
A-5 SCALE: 1/4" = 1'-0"



2 ELEVATION
A-5 SCALE: 1/4" = 1'-0"

DESIGN SUBMITTAL

Approved by

signature: _____

print first name: _____

print last name: _____

Title: _____

63rd & 9th Street
NEW YORK, NY 10003



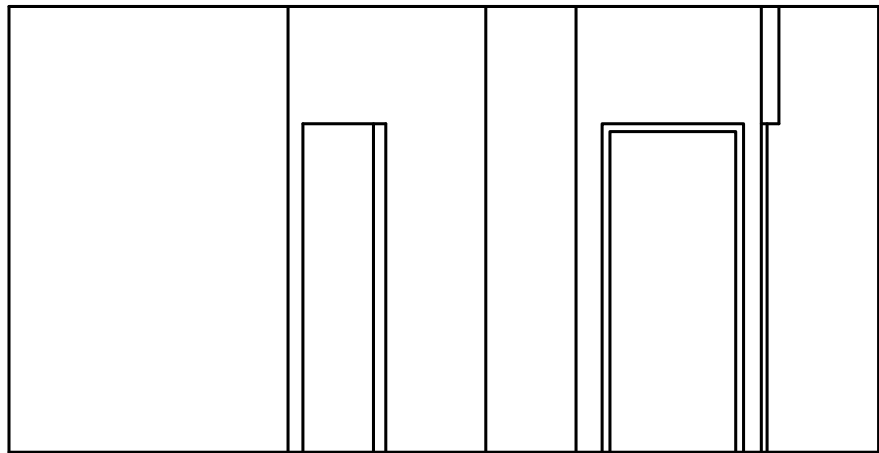
DESIGN SERVICES PLUS

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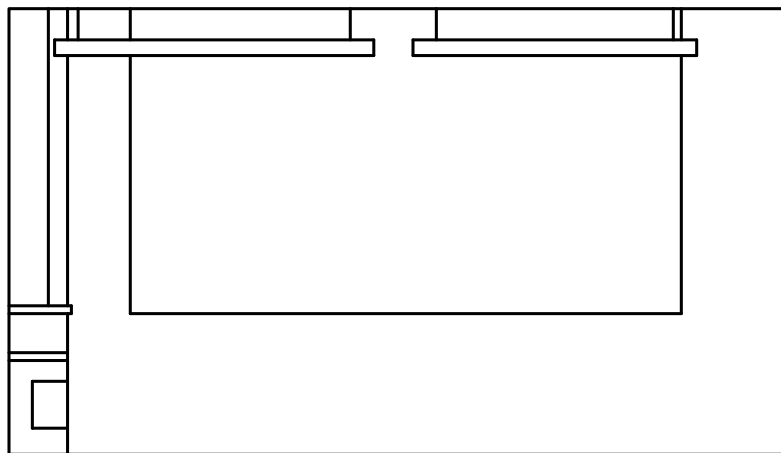
SUITE 700
101 CONVENTION CENTER DR.
LAS VEGAS, NV

SHEET TITLE
ELEVATIONS

CAD FILE NAME		-
DRAWN	SSK	ISSUED 2/18/2015
CHECKED	SSK	SCALE -
APPR.	SSK	DWG NO.
PROJECT NO.	-	A-5



1 ELEVATION
A-6 SCALE: 1/4" = 1'-0"



2 ELEVATION
A-6 SCALE: 1/4" = 1'-0"

DESIGN SUBMITTAL

Approved by

signature: _____

print first name: _____

print last name: _____

Title: _____

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ELEVATIONS

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CHECKED **SSK** SCALE -

APPR. **SSK** DWG NO.

PROJECT NO. - **A-6**